

Hartfield Place Residential Development

Outline of Proposed Structure

HARTPL-PUNCH-SM-ZZ-RP-S-01

March 2022

Document Control

Document Number: HARTPL-PUNCH-ZZ-ZZ-RP-S-01

Revision	Description	Date	Prepared	Checked	Approved
P01	Planning	15/02/2021	D.Greally	D.Clarke	D.Clarke
P02	Planning	28/03/2021	K.Mullins	D.Clarke	D.Clarke

Table of Contents

Document Control.....	i
Table of Contents	ii
1 Introduction.....	1
2 Site Investigations and tunnel report	2
3 Basement structure and Blocks A-E:	2
4 Block F:.....	2
5 Block G:	2
6 Drawings:.....	3

1 Introduction

This report accompanies a planning application for a residential development called Hartfield Place located at Sword Road, Whitehall, Dublin 9. This report provides a brief outline of the proposed structure to form the buildings.

The proposed development consists of 472 No. apartments in seven blocks, A, B, C, D, E, F & G. Refer to Figure 1.

Blocks A-E are constructed over a single storey basement. The superstructure ranges from 4 to 8 stories over the basement.

Block F & G towards the east of the site. There is no basement below blocks F and G.

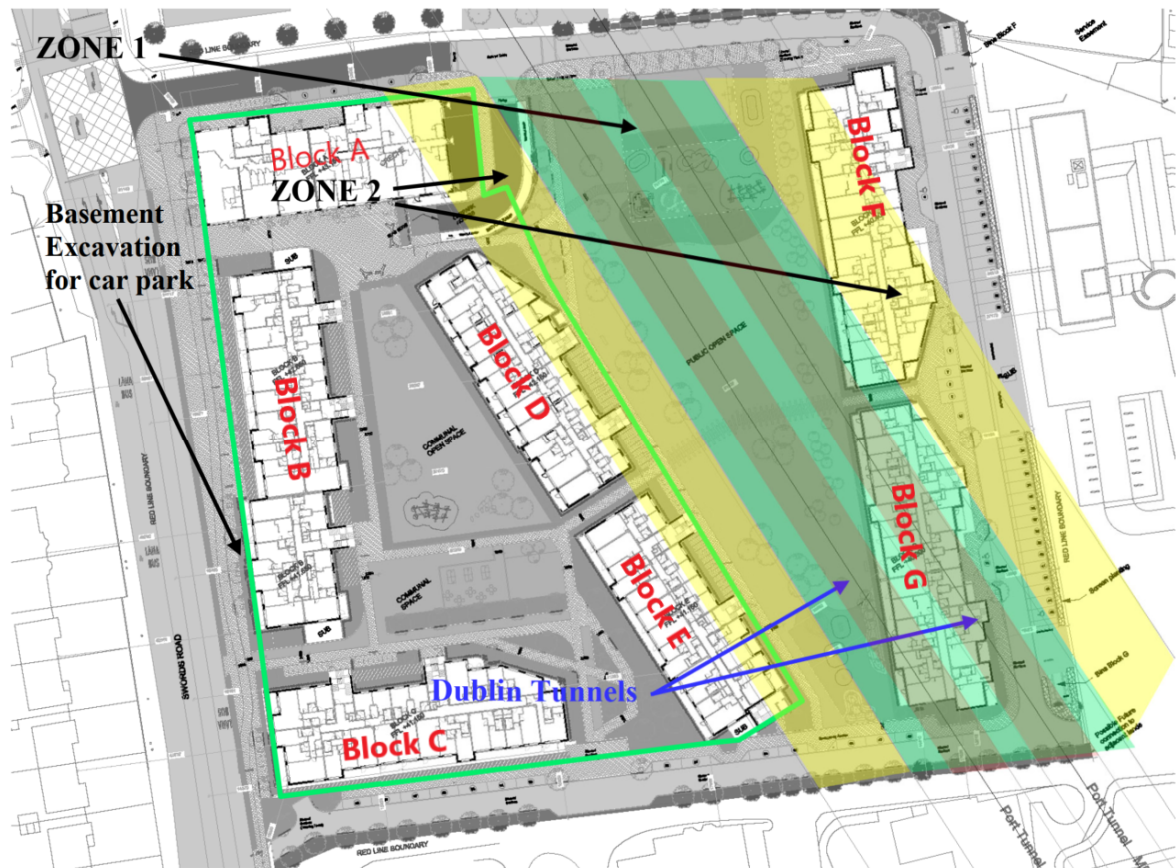


Figure 1: Outline of proposed structures at Hartfield Place

2 Site Investigations and tunnel report

The site investigation has highlighted the following ground conditions:

- 0.3m-1m Topsoil
- 0.4-2.8m Made Ground
- 2.8m-21.3m/34.6m Dublin Boulder Clay
- Bedrock

The Dublin Port Tunnel is located below the proposed site. For further information on the tunnel, please refer to the report 19-196-R05 Rev 2 “Tunnel Impact Assessment, Hartfield Place Residential Development, Swords Road: Impact of construction of the development on Dublin Port Tunnels Scheme No. 472” by AGL Consulting Engineers.

3 Basement structure and Blocks A-E:

The proposed basement is set back away from site boundaries and other structural items such as roads etc. that an open excavation construction can be facilitated with the soil sloped to provide a stable excavation. The predominant strata on the site is a low permeable brown and black boulder clay. The seepage from these soils would be low. As a result, the ingress of water into the excavation will be manageable by a system of trenches and sump pumping.

The construction access road will be constructed prior to the basement excavation. A section of temporary works such as raking shores or buttressing will be required along part of the north of the basement excavation in order to maintain construction access road.

A concrete raft and/or foundation pads with an integral insitu concrete slab will form the base of the basement. The perimeter of the basement will be formed using insitu concrete walls. Internal columns will provide support to a podium slab and transfer beams that would support the superstructures of Blocks A-E.

The superstructures of Blocks A-E will be constructed using an insitu concrete frame or from precast concrete elements.

4 Block F:

Block F foundation will consist of a 600mm insitu reinforced concrete raft structure on appropriate fill in accordance with SR21 and I.S. 888 to a suitable bearing stratum.

The superstructure will consist of either an insitu reinforced concrete frame or precast concrete elements.

5 Block G:

Block G foundation will consist of a 600mm insitu reinforced concrete raft slab. The raft slab will be either located at ground floor level or at a certain depth depending on the requirements of the Tunnel Impact Assessment report carried out by AGL Consulting Engineers.

The superstructure will consist of either an insitu reinforced concrete frame or precast concrete elements.

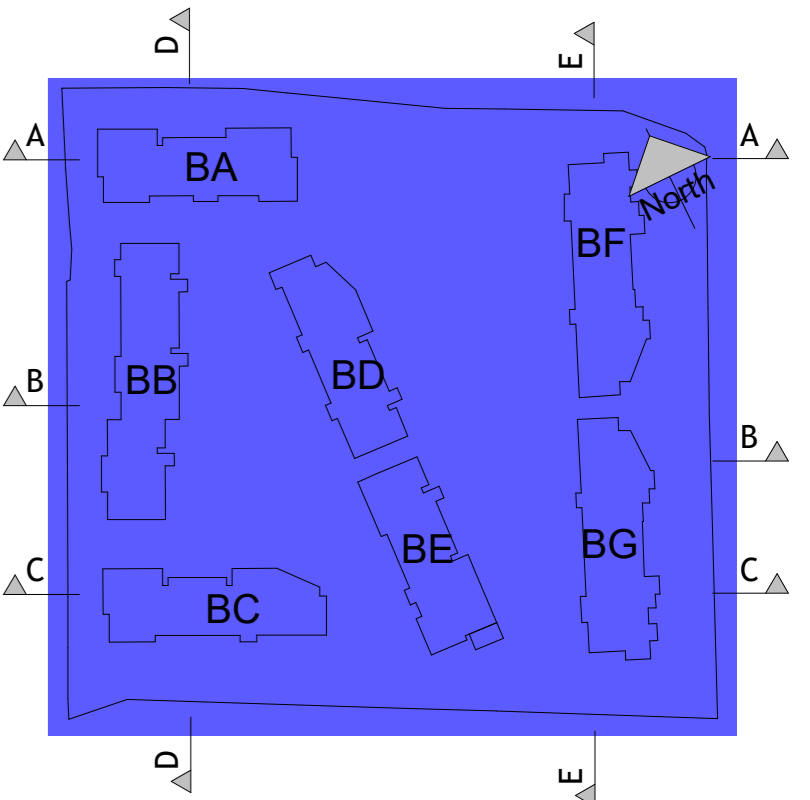
6 Drawings:

Please refer to the following drawings.

1. HARTPL-PUNCH-SM-ZZ-DR-S-0001 - SITE PLAN
2. HARTPL-PUNCH-SM-ZZ-DR-S-0002 - SITE SECTIONS SHEET 1
3. HARTPL-PUNCH-SM-ZZ-DR-S-0003 - SITE SECTIONS SHEET 2

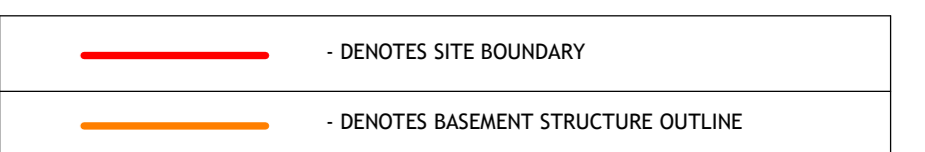
GENERAL NOTES

1. DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. DO NOT SCALE USE FIGURED DIMENSIONS ONLY.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY OR DETERMINE ALL DIMENSIONS AND LEVELS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR PRODUCTION OF FABRICATION DRAWINGS.
3. FOR DETAILS OF SETTING OUT OF RWP, SWP, WWP AND ALL OPENINGS SEE THE RELEVANT ARCHITECTS DRAWINGS.
4. FOR INSULATION DETAILS REFER TO ARCHITECTS DRAWINGS.



SITE KEYPLAN

KEY PLAN



SITE PLAN

© PUNCH Consulting Engineers
 This drawing and any design hereon is the copyright of the Consultants and must not be reproduced without their written consent.
 All drawings remain the property of the Consultants.
 Figured dimension only to be taken from this drawing.
 Consultants to be informed immediately of any discrepancies before work proceeds.

Date Drawn: JANUARY 2021
 Drawn By: HK
 Colour Drawing: [Symbol]

Rev	Amendment	By	Date
P01	ISSUED FOR INFORMATION	HK	2021-01-28
P02	CRECHE AND SITE PLAN UPDATED	HK	2021-02-02
P03	ISSUED FOR PLANNING	HK	2021-02-19
P04	DRAWING UPDATED	HK	2021-10-12
P05	RE-ISSUED FOR PLANNING	YB	2022-03-28

Client:
Eastwise Construction Swords Ltd

Job Title: HARTFIELD PLACE, SWORDS ROAD
 Drawing Title: SITE PLAN
 Job No: 2021221 Model Ref: HARTPL_PUNCH-SM-M3-S-0001
 Drawing Status: PLANNING

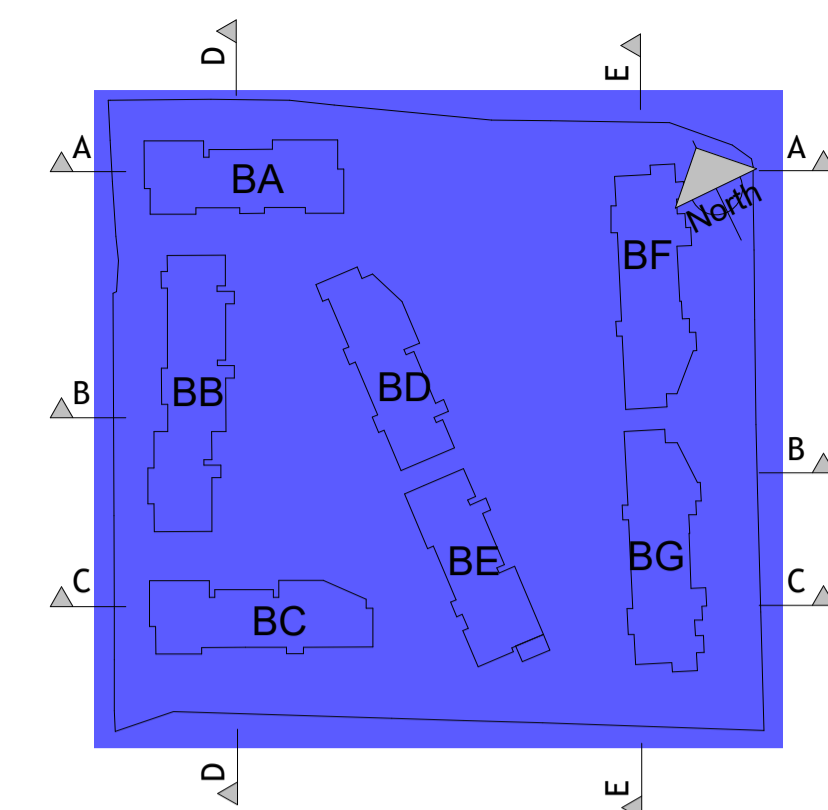
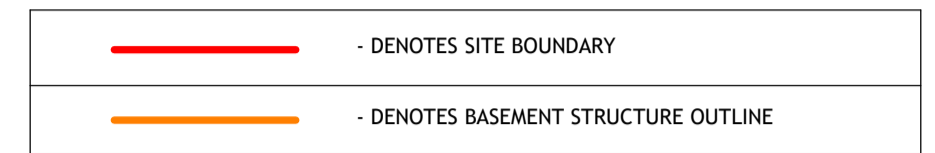
PUNCH consulting engineers
 Dublin | Limerick | Cork | Galway | Glasgow
 Carrigea House Library Road, Dun Loughra, Co. Dublin, A4, CN72, Ireland
 IRL +353 1 271 2200 www.punchconsulting.com

Scale as Indicated
 As Indicated
 HK
 DG
 DC
 HARTPL-PUNCH-SM-ZZ-DR-S-0001
 Revision No: P05

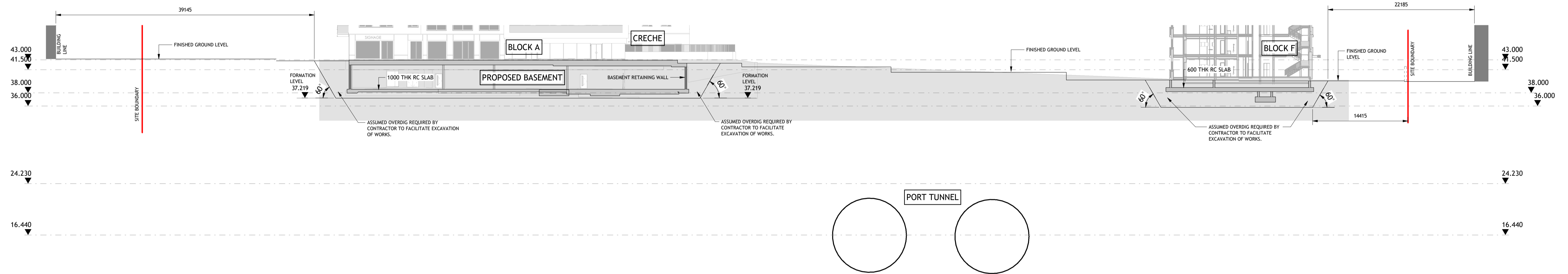
GENERAL NOTES

1. DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. DO NOT SCALE USE FIGURED DIMENSIONS ONLY.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY OR DETERMINE ALL DIMENSIONS AND LEVELS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR PRODUCTION OF FABRICATION DRAWINGS.
3. FOR DETAILS OF SETTING OUT OF RWP, SVP, WVP AND ALL OPENINGS SEE THE RELEVANT ARCHITECTS DRAWINGS.
4. FOR INSULATION DETAILS REFER TO ARCHITECTS DRAWINGS.

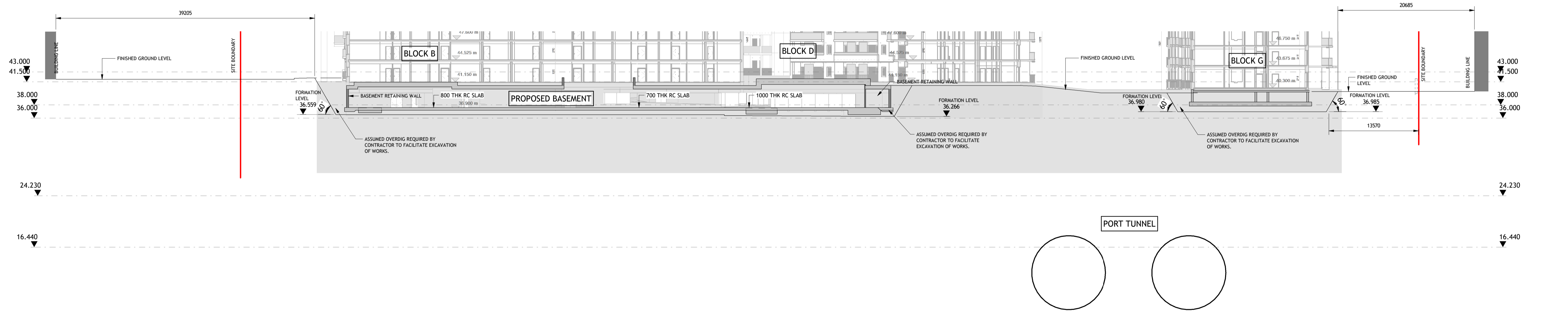
KEY PLAN



SITE KEYPLAN



SECTION A-A



SECTION B-B

© PUNCH Consulting Engineers

This drawing and any design hereon is the copyright of the Consultants and must not be reproduced without their written consent. All drawings remain the property of the Consultants. Figured dimension only to be taken from this drawing. Consultants to be informed immediately of any discrepancies before work proceeds.

Date Drawn:
JANUARY 2021
Drawn By:
Author
Colour Drawing:



Rev	Amendment	By	Date
P01	ISSUED FOR INFORMATION	HK	2021-01-28
P02	CRECHE AND SITE PLAN UPDATED	HK	2021-02-02
P03	ISSUED FOR PLANNING	HK	2021-02-15
P04	DRAWING UPDATED	HK	2021-10-12
P05	RE-ISSUED FOR PLANNING	VB	2022-03-28

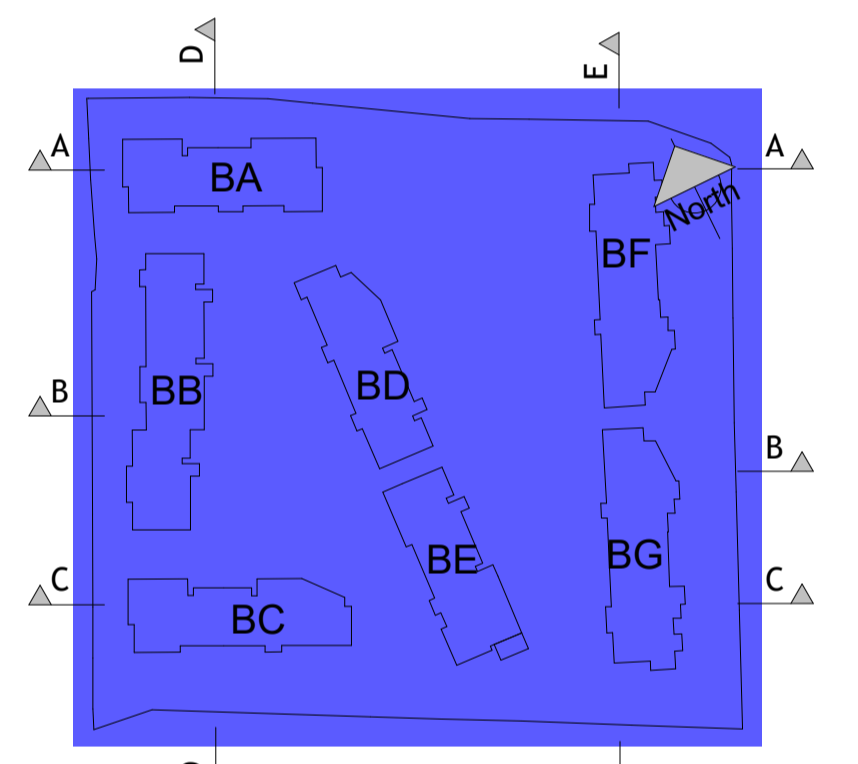
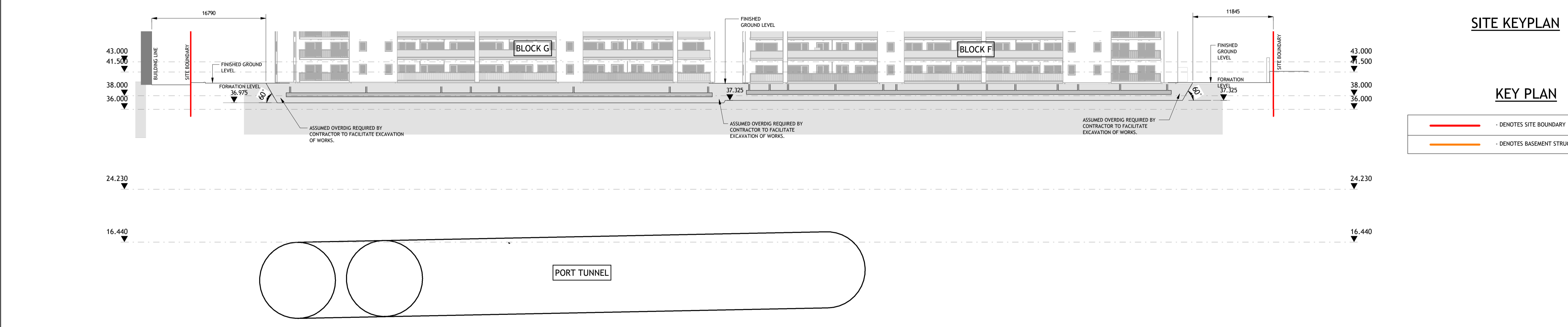
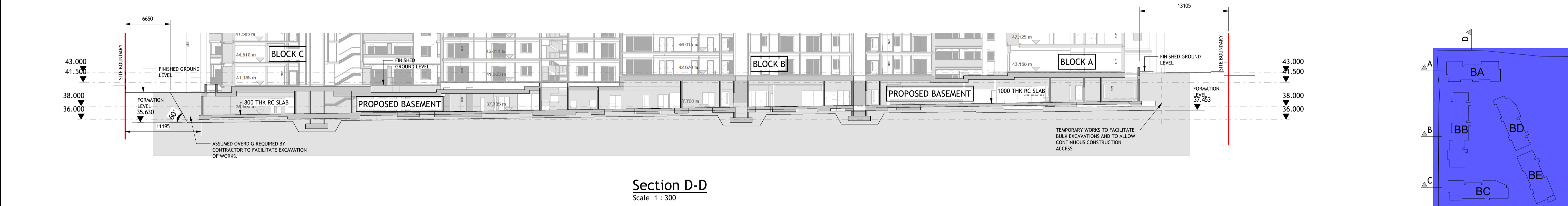
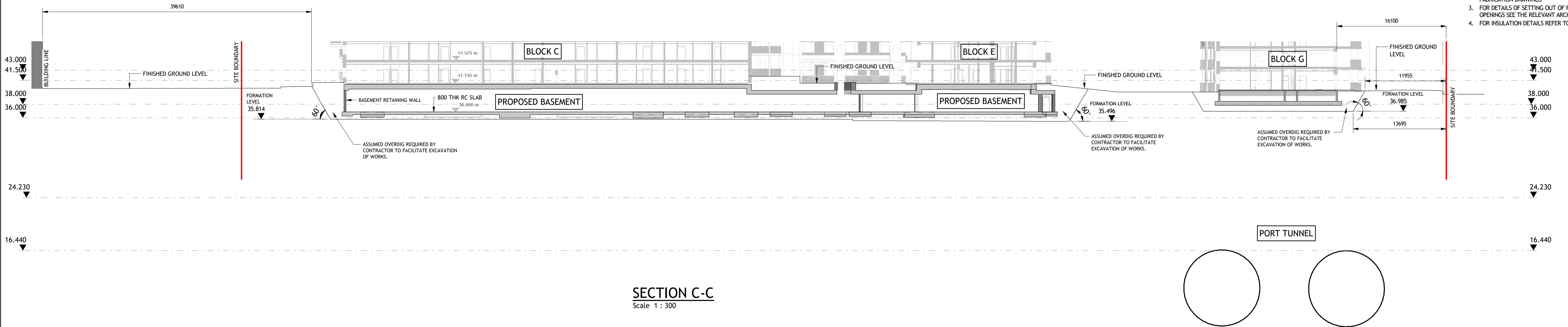
Client:
Eastwise Construction Swords Ltd

Job Title: HARTFIELD PLACE, SWORDS ROAD
Dwg Title: SITE SECTIONS SHEET 1
Job No: 2021272 Model Ref: HARTPL-PUNCH-SM-M3-S-0001 Drawing Status: PLANNING
PUNCH consulting engineers
Dublin | Limerick | Cork | Galway | Glasgow
Carnegie House Library Road, Dun Laoghaire, Co. Dublin, A96 C7W7, Ireland
IRL: +353 1 271 2200 www.punchconsulting.com

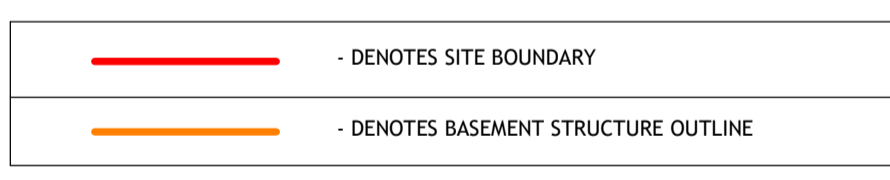
Scale @ A1: As indicated
Technician Check: HK
Engineer Check: DG
Approved: DC
Document No: HARTPL-PUNCH-SM-ZZ-DR-S-0002
Revision No: P05

GENERAL NOTES

1. DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. DO NOT SCALE USE FIGURED DIMENSIONS ONLY.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY OR DETERMINE ALL DIMENSIONS AND LEVELS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR PRODUCTION OF FABRICATION DRAWINGS.
3. FOR DETAILS OF SETTING OUT OF RHP, SVP, W/P AND ALL OPENINGS SEE THE RELEVANT ARCHITECTS DRAWINGS.
4. FOR INSULATION DETAILS REFER TO ARCHITECTS DRAWINGS.



KEY PLAN



© PUNCH Consulting Engineers
 This drawing and any design hereon is the copyright of the Consultants and must not be reproduced without their written consent. All drawings remain the property of the Consultants. Figured dimension only to be taken from this drawing. Consultants to be informed immediately of any discrepancies before work proceeds.

Date Drawn: JANUARY 2021
 Drawn By:
 Author:
 Colour Drawing:



Rev	Amendment	By	Date
P01	ISSUED FOR INFORMATION	HK	2021-01-28
P02	CRECHE AND SITE PLAN UPDATED	HK	2021-02-02
P03	ISSUED FOR PLANNING	HK	2021-02-15
P04	DRAWING UPDATED	HK	2021-10-12
P05	RE-ISSUED FOR PLANNING	VB	2022-03-28

Client:
 Eastwise Construction Swords Ltd

Job Title: HARTFIELD PLACE, SWORDS ROAD
 Dwg Title: SITE SECTIONS SHEET 2
 Job No: 2021272 Model Ref: HARTPL-PUNCH-SM-M3-S-0001 Drawing Status: PLANNING
PUNCH consulting engineers
 Dublin | Limerick | Cork | Galway | Glasgow
 Carnegie House Library Road, Dun Laoghaire, Co. Dublin, A96 C7W7, Ireland
 IRL: +353 1 271 2200 www.punchconsulting.com

Scale @ A1: As indicated
 Technician Check: HK
 Engineer Check: HK
 Approved: DC
 Document No: HARTPL-PUNCH-SM-ZZ-DR-S-0003
 Revision No: P05